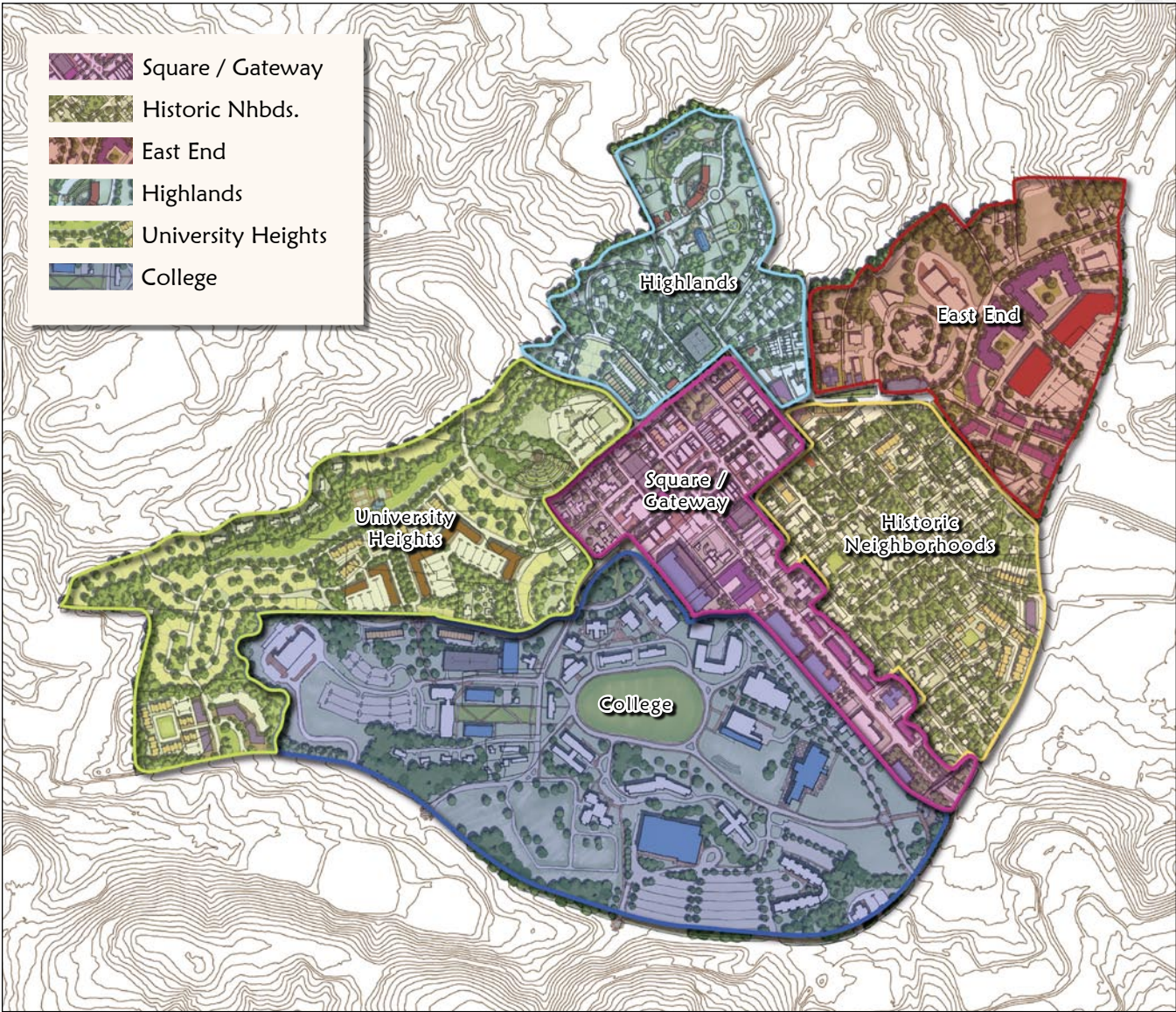


## 2.0 DISTRICT PROVISIONS

The district provisions concentrates on those guidelines that are specific to the particular district. These guiding principles impart a distinctive and unique character to the districts. Each district covers buildings typologies that should be dominant within an area, street characteristics that help connect all the districts together and any additional special provisions required to enhance a district. The districts follow those set out in the Master Plan and are: Public Square/South Chestatee Gateway, Historic Neighborhoods, East End, Highlands and University heights.

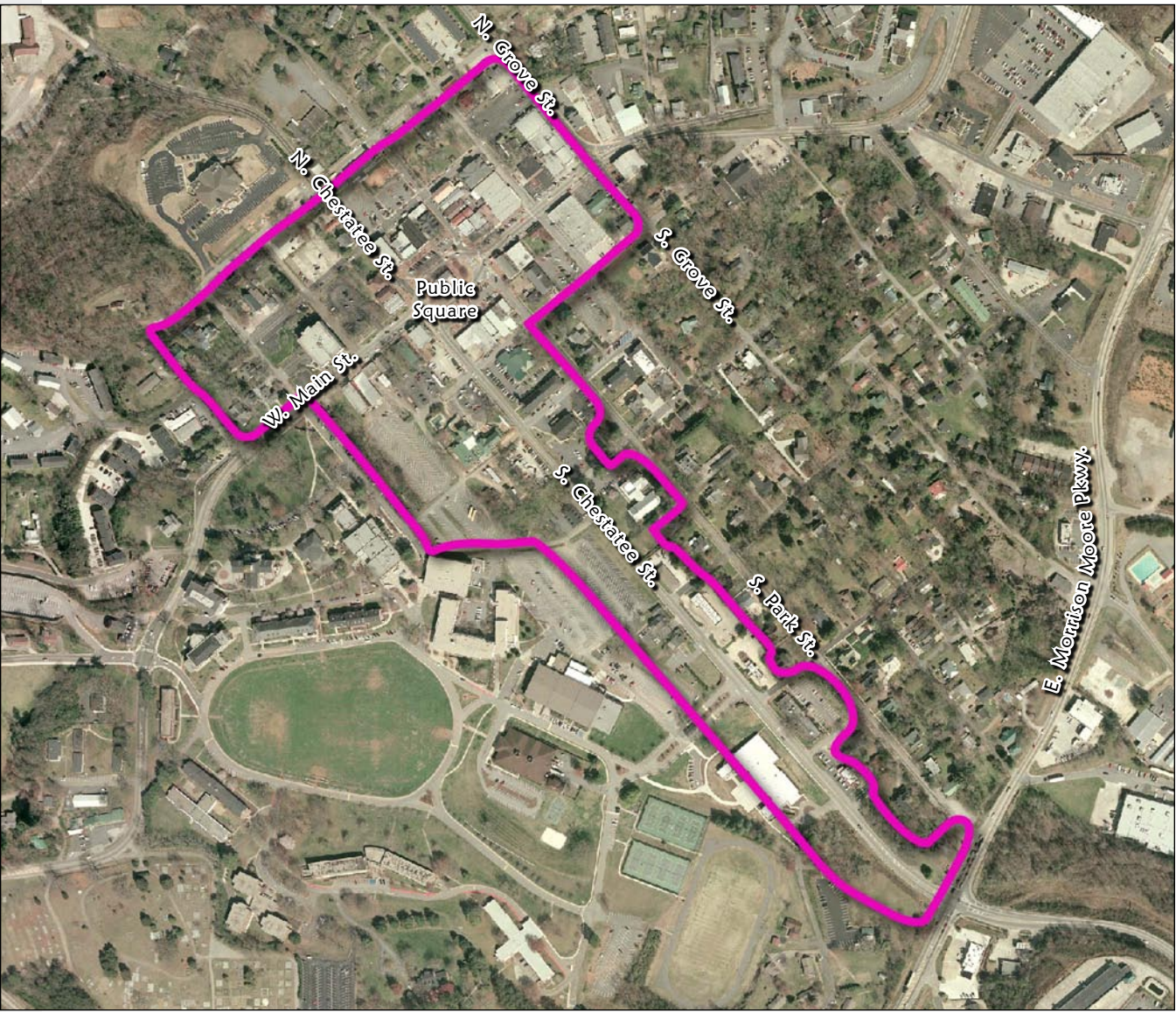
Figure 2.1: Thematic Districts



## 2.1 Public Square/South Chestatee Gateway

This district comprises of the 6 blocks of the Public Square and an additional 12 blocks around it. It also includes the area along South Chestatee Street which serves as a prominent axis and entry way to the historic square of the city and hence development along this street needs to be integral to that of the square. The prominent streets within this district are East and West Main streets and South Chestatee Street.

Figure 2.2: Square / Chestatee District





## 2.1.1 Building Typologies / Locations

- Preservation of existing historic buildings 50 years and older is required.
- Parking structures are excluded from the provisions below, but are subject to the guidelines in Part 1.4 (Parking).

### Buildings on the Public Square

or along the “Downtown” portion of East Main Street and West Main Street (see Street Characteristics below)

- No new building can exceed two and one-half stories in height.
- New buildings should be designed and positioned to form a continuous street wall along the principal façade(s) unless precluded by site conditions – see Parts 1.2 (Site Layout) and 1.3 (Building Mass and Orientation) for more detail.
- The different building types should follow the proportions and details exhibited by the corresponding building typology described in Part 1.11 (Historic Building Forms):
  - One-story wooden or masonry buildings should follow the One-Part Commercial Block.
  - Two-story wooden buildings should follow the Gable-Front Storehouse (example: Parker Storehouse) or the Folk-Victorian Hotel.
  - Two-story masonry buildings should follow the Victorian Two-Part Commercial Block (if primary facade material is simple running-bond brick) or the Simple Two-Part Commercial Block (if primary facade material is decorative brick or patterned CMU).
  - Two and one-half story wooden buildings should follow the Folk-Victorian Hotel.

### Buildings along South Chestatee Street

- No building can exceed three and one-half stories in height.
- The different building types should follow the proportions and details exhibited by the corresponding building typology described in Part 1.11 (Historic Building Forms):
  - One-story wooden or masonry buildings should follow the Shed Commercial.
  - Multistory wooden buildings should follow the Folk-Victorian Hotel.
  - Multistory masonry buildings should follow the Simple Commercial Block.
- Buildings on full-block sites located between South Chestatee and South Park streets should be designed as a freestanding building or complex of buildings that follow the proportions and details exhibited by the I-House, Gable-Ell, Massed-Plan or Queen Anne Victorian residential typologies described in Part 1.11 (Historic Building Forms).



One-Part Commercial Block - Moore Hardware, 1945



Folk Victorian Hotel - Hall House, 1881



Victorian Two-Part Commercial Block - Hall's Block, 1883



Simple Two-Part Commercial Block - Bank of Dahlonga Building, 1910



Massed-Plan



Queen Anne Victorian - Jones House, 1885



Folk Victorian Townhouse

### Buildings elsewhere in the district

- No building can exceed two stories in height.
- The different building types should follow the proportions and details exhibited by the corresponding building typology described in Part 1.11 (Historic Building Forms):
  - One-story freestanding wooden buildings should follow the Pyramidal or Gable-Ell.
  - Two-story freestanding wooden buildings should follow the I-House, Gable-Ell, Massed-Plan or Queen Anne Victorian.
  - Two-story attached wooden buildings should follow the Folk Victorian Townhouse.
  - Two-story masonry buildings should follow Simple Commercial Block.



2.1.2 Street Characteristics

- The guidelines listed below should be used in addition to those listed in Part 1.1 (Streets and Streetscapes).
- East Main, West Main and South Chestatee are the signature streets of the district and should be given special design attention.
- Streets should have two-way travel lanes. Lane widths for East Main, West Main and South Chestatee streets should be +/- 11'-0".
- Decorative lighting should be suspended from the gallery or canopy structure. These should be colonial type in design, inspired by the historic gas light at the Old Courthouse. They should equal the Charleston Gas Light model HA-200 "Hampton" or TO-100 "Twelve Oaks".
- Sidewalks can include decorative cast metal interpretive / way-finding medallions based on design elements of the first coin minted in the city or elements reflecting the Cherokee heritage.
- Crosswalks at primary intersections should be brick pavers with concrete edging.



HA-200 "Hampton"



Gas Light



Decorative cast metal medallions, Chicago



Brick pavers crosswalks with concrete edging



Head-in parking



Arcaded sidewalk

- a two-way travel lanes
- b head-in parking
- c sidewalk
- d arcaded sidewalk

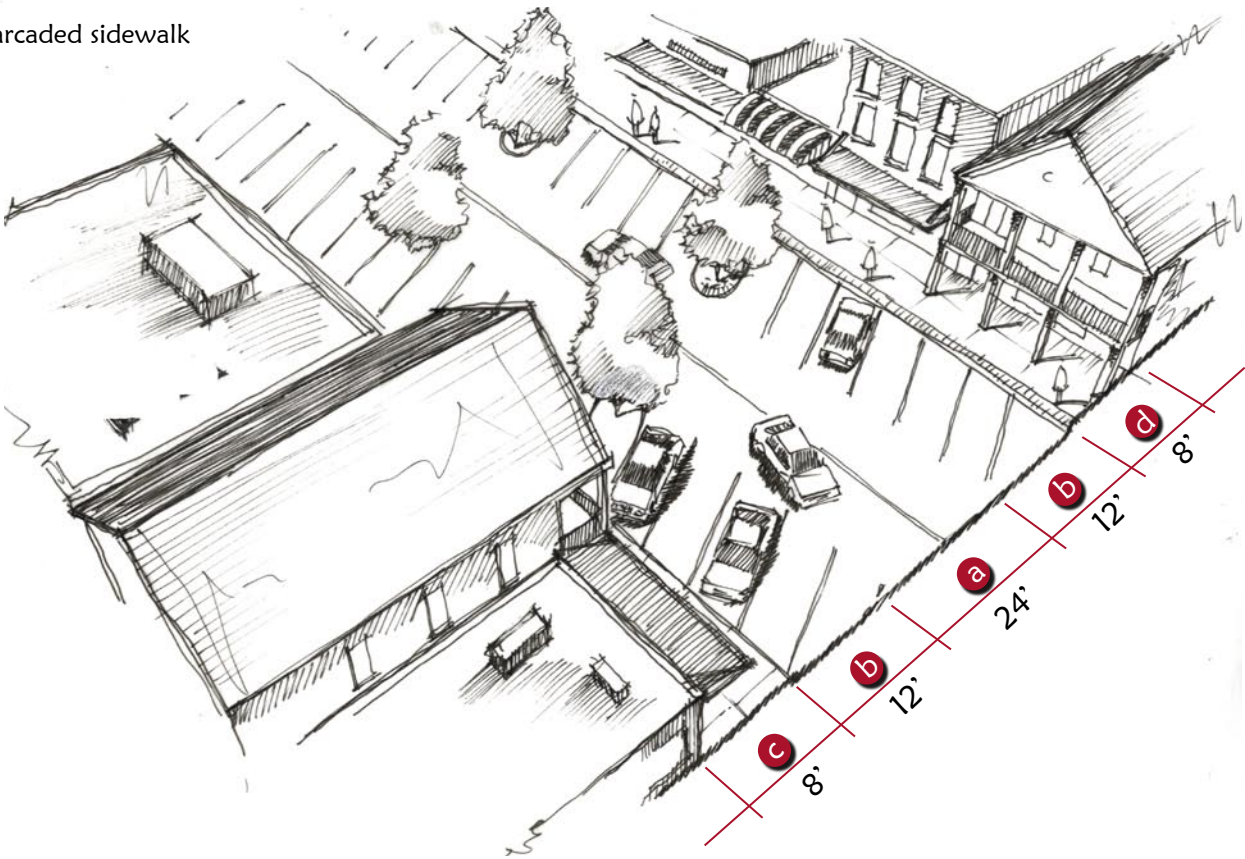


Figure 2.3: Proposed Main Street Section

East Main Street and West Main Street

- Physical improvements to East and West Main should extend the character of the Public Square two blocks north to Grove Street, and two blocks south to Church Street as the "Downtown" portions of East and West Main. Pages 3.12 and 3.13 of the Master Plan describe the street section and improvements, which focus on:
  - A minimum 8' wide sidewalk supplementing the existing walk as needed. Cover at buildings should be provided by second-floor galleries or canopies that are continuous across the façade.
  - Sidewalks with a minimum 2'-6" continuous brick band along the curb line to tie back to the dominant paving in the Public Square. The balance of the sidewalk material should be at a minimum exposed aggregate or sandblasted concrete, but can be higher-grade surfacing as desired by each individual property owner.
  - Tree-planting areas with single indigenous shade tree specie in spaces that substitute head-in parking spaces at regular intervals no more than 45' apart.
  - Head-in diagonal parking as provided along East Main; parallel on-street parking on West Main is an alternative if physical constraints do not allow head-in parking.



## South Chestatee Street

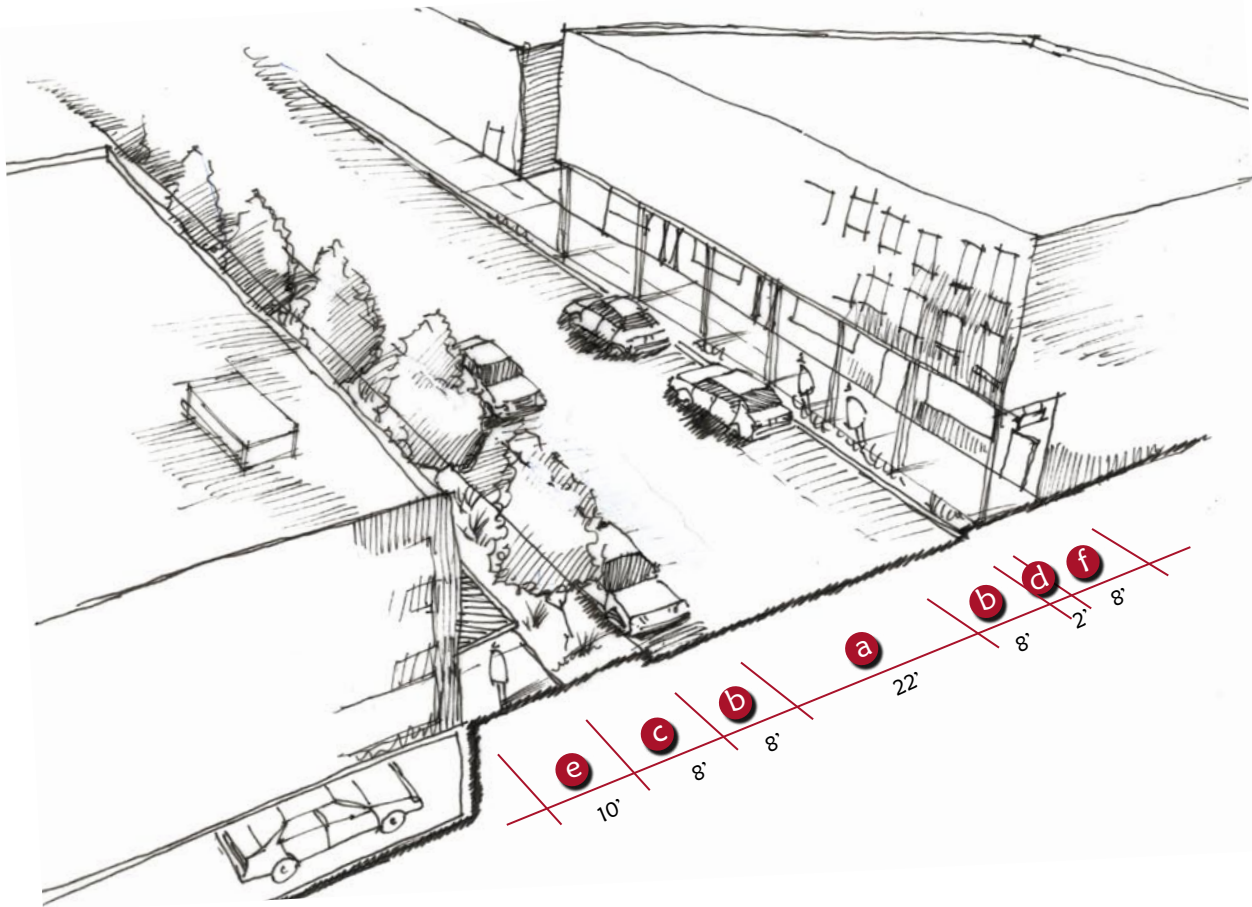
- Physical improvements to South Chestatee should be similar to the character but not a replication of the Public Square. Pages 3.8 to 3.11 of the Master Plan describe the street section and improvements, which focus on:
  - A minimum 8’ wide sidewalk on the east side of the street with cover at new storefront buildings provided by an embayment or arcade continuous across the façade.
  - A minimum 2’ wide planting strip on the east side of the street.
  - A minimum 10’ wide sidewalk on the west side of the street. This should be made narrow to accommodate the historic cottages that belong to the college along South Chestatee Street.
  - A minimum 8’ wide planting strip on the west side of the street with regularly-spaced shade trees of the same specie as used on East and West Main.
  - Parallel parking on both sides of the street.



Arcaded sidewalk

- a two-way travel lanes
- b parallel parking
- c planting strip
- d planting strip
- e sidewalk
- f arcaded sidewalk

Figure 2.4: Proposed South Chastatee Street Section



## Other District Streets

- Should preserve the historic urban character of the district by including design elements such as:
  - On-street parallel parking along one or both sides unless precluded by right-of-way constraints.
  - Minimum 6’ wide sidewalks on at least one side.
  - Consistent and even granite or concrete curbing should be provided along the sidewalk. It should rise a minimum 4” above street surface.
  - Pedestrian street lighting should be regularly spaced at a minimum of 30’-40’ on-center. The design should be of a colonial type that equals existing Dahlongea downtown streetlights or the Hadco V681 “Baltimore” model placed at a height of 15’.
  - Streets should have two-way travel lanes.



On street parallel parking



Brick sidewalk on one side



### 2.1.3 Special Provisions

- The existing brick sidewalks, stone planters and decorative streetscape details in the Public Square should be preserved and maintained as the highest-degree public landscape in downtown. Improvements should be installed on the south side of the Public Square mirroring those on the north.
- Crosswalks in the Public Square should be upgraded to brick pavers to match those used in the existing sidewalks.
- The intersections of West Main and Church Street, and East Main and Grove Street, should be designed and improved as gateway plazas to downtown. The improvements should reflect the historic context and the design themes present in the Public Square, and can include:
  - Brick sidewalk paving or accents using the Public Square standard.
  - Textured concrete or unit pavers for the intersection road surface.
  - Comprehensive landscaping design.
  - Gateway signage incorporated into public art or water features.
  - Seating and/or outdoor dining areas.
  - Decorative lighting following the period precedent in the Old Courthouse block.



Textured concrete /unit pavers



Landscape design



Gas light



Brick sidewalk



Gateway signage - Stamp Mill



Outdoor dining

### 2.2 Historic Neighborhoods

This district lies immediately to the east of the public square. It is bound by East Main Street, Mechanics Street, South Park Street and East Morrison Moore Parkway. This district covers the historic neighborhoods and additional residential areas in proximity to the core. The aim for this district is to preserve and maintain its architectural history and designate a large portion of it as a historic residential district.

Figure 2.5: Historic Neighborhoods District





## 2.2.1 Building Typologies / Locations

- Preservation of all existing historic buildings 50 years and older is required. Any rehabilitation or demolition of historic structures is subject to review by the Historic Preservation Commission.
- No new building can exceed two and one-half stories in height.

### Buildings along South Park Street

- The different building types should follow the proportions and details exhibited by the corresponding building typologies described in Part 1.11 (Historic Building Forms).
  - One-story wooden buildings should follow the Pyramidal or Gable-Ell.
  - Two-story wooden buildings should follow the I-House, Gable-Ell, Massed-Plan, or Queen Anne Victorian.



Gable-Ell



Massed-Plan



I-House

### Buildings elsewhere in the district

- The different building types should follow the proportions and details exhibited by the corresponding building typologies described in Part 1.11 (Historic Building Forms).
- One-story wooden buildings should follow the Hall-and-Parlor, Bungalow, or Minimal Traditional.
- Two-story wooden buildings should follow the I-House, Massed-Plan, or Gable-Ell.
- Wood siding with brick foundations is encouraged on multifamily, mixed-use or commercial buildings.



Bungalow



Gable-Ell



I-House

## 2.2.2 Street Characteristics

- The guidelines listed below should be used in addition to those listed in Part 1.1 (Streets and Streetscapes).

### South Park Street

- South Park is the signature street of the district and should be given special design attention.
- Physical improvements to South Park should focus on the landscape zone, which would be reconstructed over time to include:
  - Face of curb at 11'-0 from street centerline on both sides.
  - Comprehensive landscape design including ornamental flowering trees indigenous to region, 30' maximum spacing, and decorative groundcover, flowers, and other plant material.
  - Additional historically-appropriate details such as stone mounting blocks and iron hitch-posts and mailboxes are encouraged.
- Sidewalks should be a minimum 6'.
- Sidewalks can include decorative cast metal interpretive / way-finding medallions based on design elements of the first coin minted in the city.
- Lawn areas should be separated from the sidewalk by a continuous stone or concrete edging at the sidewalk line, approximately 3" to 4" above the sidewalk surface and a minimum of 6" wide.
- Crosswalks at intersections should continue the sidewalk material across the street paving.
- Decorative lighting should be placed on poles at a height of minimum 10' at 30'-40' spacing. These should be colonial type in design, inspired by the historic gas light at the Old Courthouse. They should equal the Charleston Gas Light model HA-200 "Hampton" or TO-100 "Twelve Oaks".



- a two-way travel lanes
- b planting strip
- c sidewalk

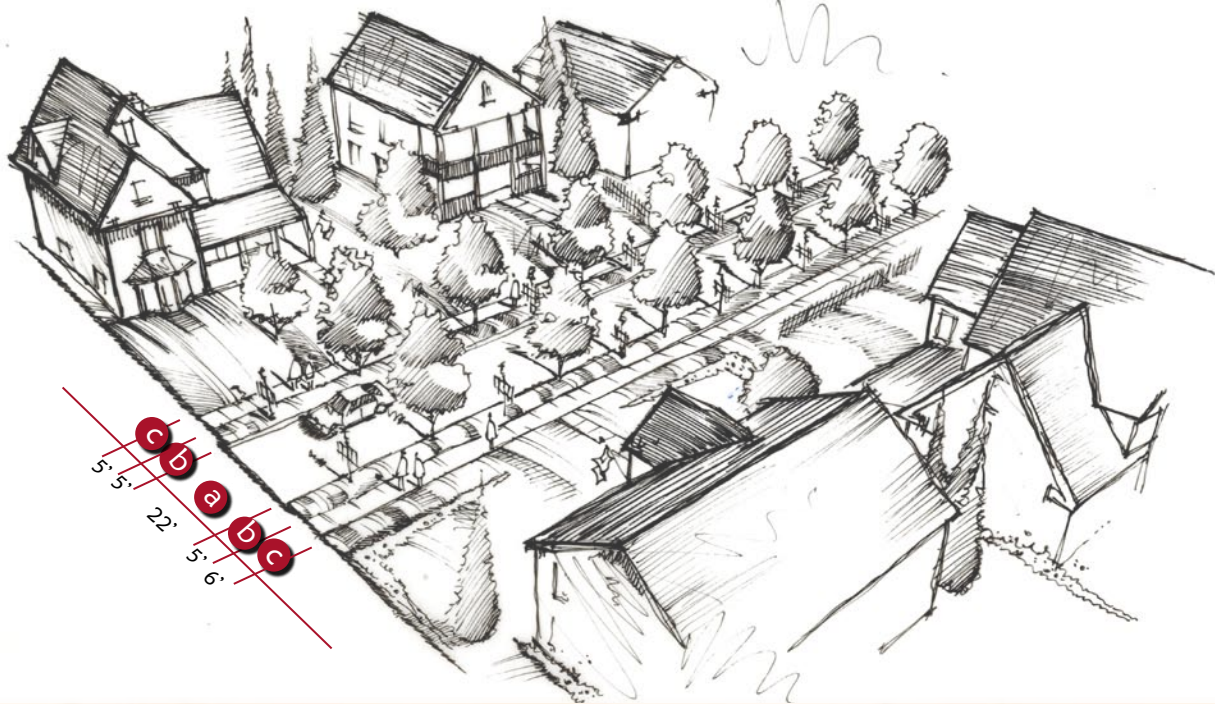
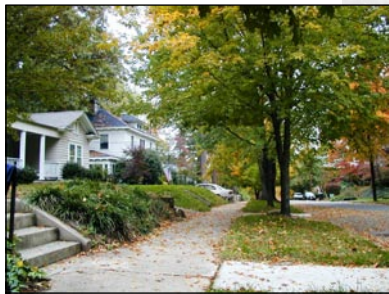


Figure 2.6: Proposed South Park Street Section



Other District Streets

- Should preserve the rural character of the district by including design elements such as:
  - Gravel shoulders / parking areas.
  - Drainage swales on at least one side, constructed to techniques discussed in Part 1.6 (Stormwater Management).
  - Sidewalks on one side.
  - Natural plantings.
- For more detail see the South Grove / Riley Road section on page 3.22 of the Downtown Master Plan document.

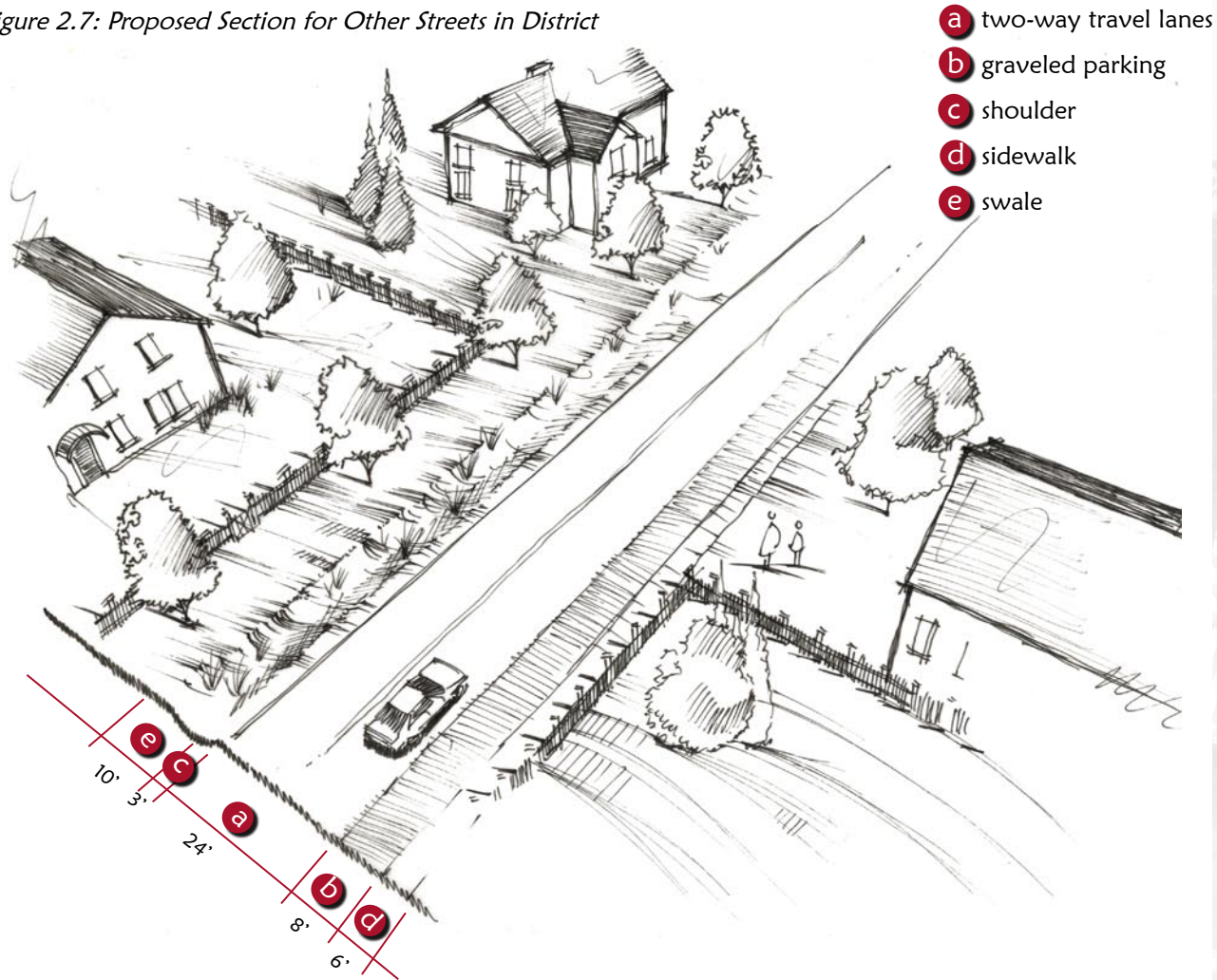


Residential streetscape

2.2.3 Special Provisions

- Parking structures are allowed in the district only by special permission, and are subject to the guidelines in Part 1.4 (Parking).

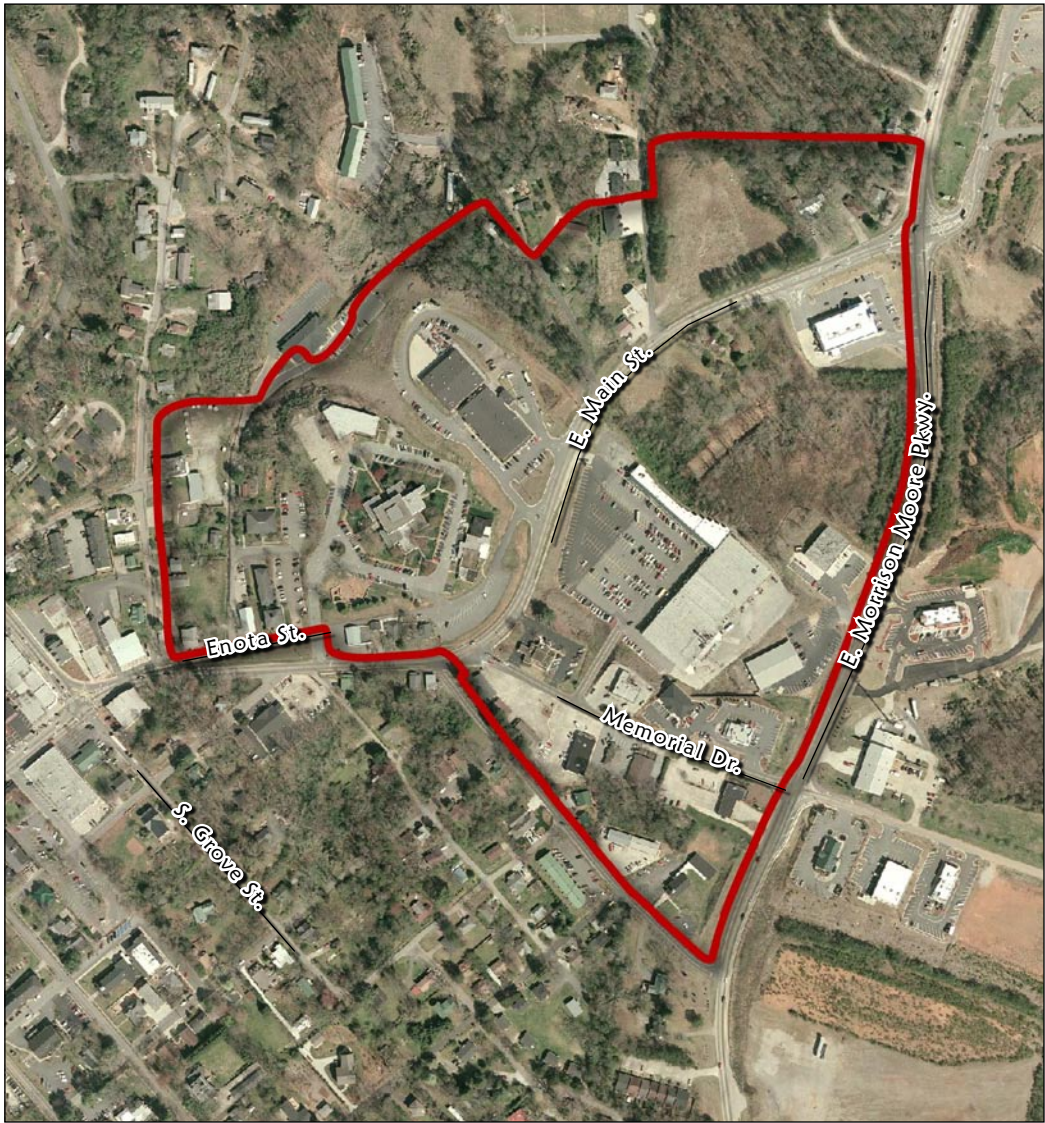
Figure 2.7: Proposed Section for Other Streets in District



2.3 East End

The design of this district hinges on the redevelopment of the older properties within the area. It offers a focus to the East Main end of the public square by clustering civic uses along the street. This district also offers the opportunity to add to the housing stock in proximity to the historic square. Commercial and office uses should also be provided within this district along Morrison Moore Parkway and Memorial Drive.

Figure 2.8: East End District





## 2.3.1 Building Typologies / Locations

### Buildings along Memorial Drive

- Buildings should not replicate those on the Public Square. They should strive to synthesize the essence of the historic buildings with a more contemporary aesthetic.
- Buildings should not exceed three stories in height.
- Buildings should align along the back edge of the sidewalk.
- Buildings should follow the characteristics and details exhibited by any one or a combination of the following that are described in Part 1.11 (Historic Building Forms):
  - Victorian Commercial Block
  - Simple Commercial Block
  - Enframed Block
  - Arcaded Block
  - Two Part Commercial Block
- Architecturally-prominent buildings should be used to enhance the intersections at either end of Memorial Drive.
- Head-in parking should be provided along Memorial Drive and additional parking should be provided at the rear of the buildings.
- See the Special Provisions section below for additional guidelines for this area.



Storefronts along the sidewalk



Modern building type



Modern building with industrial features

### Buildings along East Morrison Moore Parkway

- Buildings should be one to two stories tall.
- Buildings should be designed to use materials and forms that evoke the city's association with gold mining, or could consist of specific elements like low-pitched roofs or industrial sash windows reflective of historic industrial architecture.
- Buildings should be oriented such that the longer facades face East Morrison Moore Parkway. Gable ends should not be oriented toward the parkway.
- Large-footprint buildings should be broken into visually smaller masses similar to the forms of historic gold mining stamp mills.
- "Two Part Commercial Blocks" and "Enframed Window Walls" can be used for the building compositions. Refer to Part 1.11 (Historic Building Forms) for details.
- Parking should be made available on surface lots on the sides or back of the buildings. These lots should be appropriately landscaped with trees and shrubs. Pedestrian paths leading to the buildings can be defined with alternate paving material.
- See the Special Provisions section below for additional guidelines for this area.



Possible window detailing



Brick building with cornice detailing



Masonry building



Wood and masonry building



Mining building - Camp Glisson



Old brick industrial building



Mining building



Consolidated Gold Mine



Brick industrial warehouse



Buildings along East Main Street

(between the intersection with Memorial Drive and Morrison Moore Parkway)

- Buildings should be a maximum of four stories tall, oriented towards East Main Street, and should include ground-floor space for retail or other commercial or service uses, particularly near the Stephen Street intersection.
- Buildings should utilize the topography to incorporate common parking areas to the rear of the buildings, concealed from view of any major public street.
- Buildings should align with the back edge of the sidewalk along East Main Street.
- Architecturally-prominent details or other building enhancements should be used to accentuate the Stephen Street intersection.
- Buildings should incorporate characteristics and details exhibited by the “Folk Victorian Hotel” as well as the “Two-Part Commercial Block” described in Part 1.11 (Historic Building Forms).
- See the Special Provisions section below for additional guidelines for this area.

Buildings along Enota Street

- Preservation of existing historic buildings, the Olde Cannery Arts Center and the Old Lumpkin County Jail, is required.
- A new building that caters to an expansion for the arts center should not exceed two and one-half stories in height. This should be a masonry building and can follow the proportion and details exhibited by the “Victorian Commercial Block” and the “Simple Commercial Block” detailed in Part 1.11 (Historic Building Forms).
- Parking should be provided along the rear of the buildings and in the existing county complex.
- Traditional brick, painted close-grained textured concrete masonry units or rubble stone walls are allowed.



Old Lumpkin County Jail



Olde Cannery Arts Center



Balcony detail



Masonry hotel with continuous balcony



Wood hotel as a model for multifamily



Building with architectural significant corner



Possible streetscape



Sidewalk with planting and outdoor dining

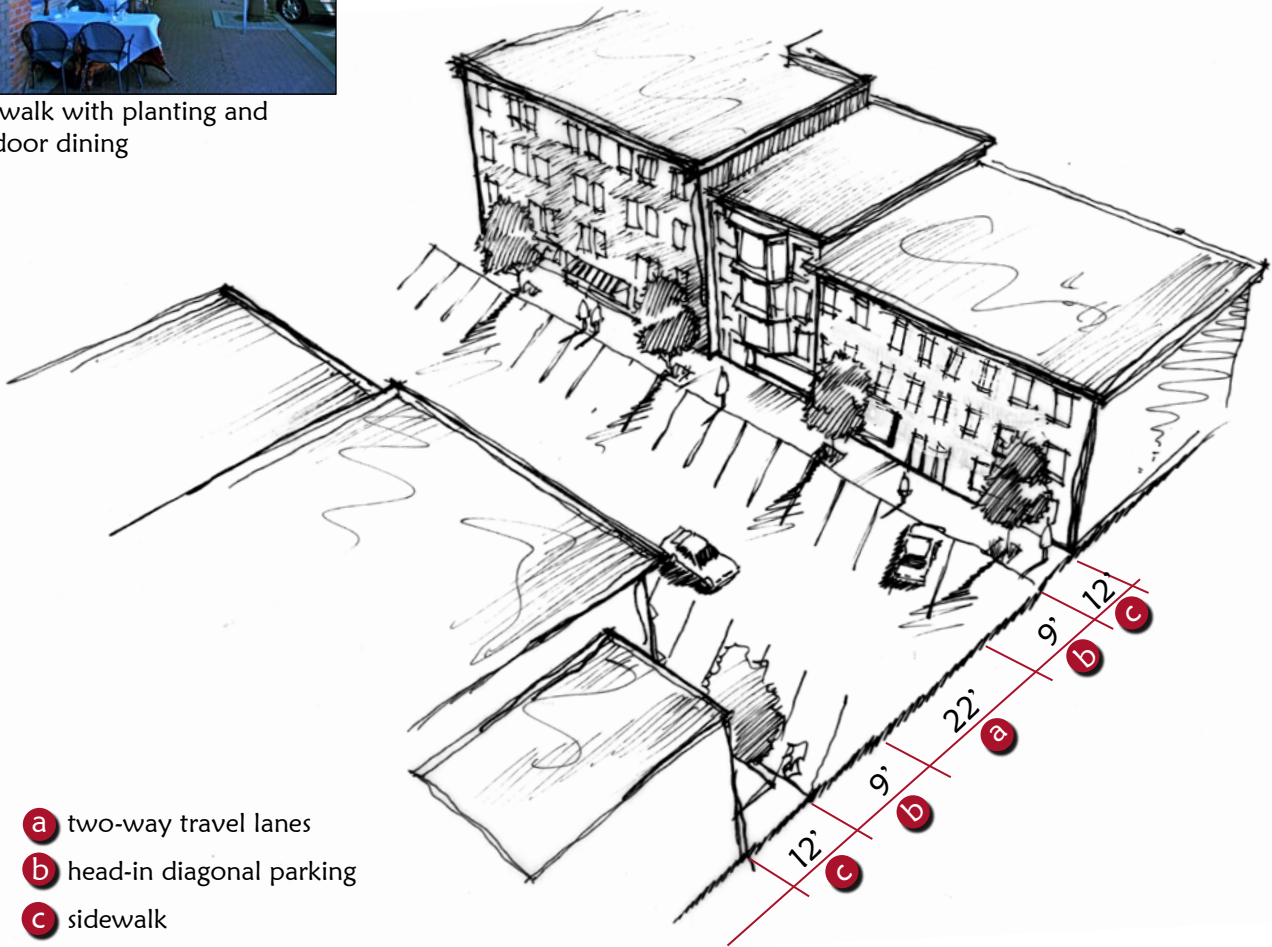
2.3.2 Street Characteristics

- The guidelines listed below should be used in addition to those listed in Part 1.1 (Streets and Streetscapes) and supersede them when in conflict.
- A furniture/planting zone, minimum 5’ wide should be placed adjacent to the street (excepting Enota Street). This should include landscape elements, trees, and benches, light poles, trash receptacles, bicycle racks, etc.

Memorial Drive

- Two-way travel lanes, each +/- 11’-0” wide should be continued from the intersection with East Main Street to Morrison Moore Parkway.
- Head-in diagonal parking should be provided on either side of the street.
- Decorative street lighting should be provided on both sides of the street at a distance of 60’ on-center.
- The sidewalk should be 12’ wide and includes area for outdoor dining. It should be paved with exposed aggregate or sandblasted concrete.

Figure 2.9: Potential Memorial Drive Section





### East Main Street

(between the intersection with Memorial Drive and Morrison Moore Parkway)

- Two-way travel lanes, each +/- 11'-0" wide should be continued from the square to Morrison Moore Parkway.
- 8' wide parallel parking should be provided on either side of the street. Special permission may be required from GDOT.
- Decorative street lighting should be provided on both sides of the street at a distance of 60' on-center.
- The sidewalk should be 6' wide and should be paved with exposed aggregate or sandblasted concrete.
- An additional 10' supplemental zone should be provided for the use by ground floor retailers like outdoor dining facilities.



Porch covering the sidewalk



Sidewalk with street furniture



Parallel parking along retail ground floor

Figure 2.10: Potential East Main Street Section



- a two-way travel lanes
- b parallel parking
- c sidewalk & supplemental zone

### Enota Street

- The existing street should be closed to traffic and made into a pedestrian path while providing additional access to Johnson Street. This should be carried out in phases. The first phase to close the length between Courthouse Hill and Johnson Street. When the Cannery expands into a new structure built adjacent to its current location, the rest of Enota Street should be made pedestrian.
- The existing width of the street should be decreased by half, the balance of the area used towards the expansion of the triangular green, open space.
- The path should be paved with bricks with granite curbing to define the path as well as panels to divide the path into sections.
- The northern side of the street should be lined with trees placed at a regular distance of 40 feet on-center.
- Decorative street lighting should be placed along the north side at regular intervals of 30'-40' on-center.
- The triangular green space separating Enota Street and East Main Street should be landscaped and could serve as a platform to exhibit sculptural art, or for festivals or outdoor events.

### New Streets

- All developments should be interconnected by a street network. These should be provided by the developer as part of the design.
- The streets should ideally be pedestrian friendly, with a 5' sidewalk provided on at least on side of the street. These sidewalks could be made of concrete and defined by a granite or concrete curb, minimum 4" above the street surface.
- The streets should be lined with trees and street lights where possible.



### 2.3.3 Special Provisions

- A semi circular pocket park should be created on axis with East Main Street at the intersection of Memorial Drive with East Main. This park should be divided across Memorial Street. It should feature a fountain, landscaping and seating along the southern portion with connections to the Mechanicsville neighborhood. The northern portion should be a passive park.
- Refer to Part 1.10 (Public Buildings) for details about the new library and a new building for the extension of the art center along Enota Street.
- Buildings along Memorial Drive should reflect the following provisions:
  - Masonry, preferable red brick as described in Part 1.7 (Materials), should be used as the dominant façade material with cut stone, cast stone, or decorative brick applied to architectural details such as corbels, quoins, window heads, string courses etc.
  - Building rooflines can be varied by introducing turrets, towers, extended parapets, and other features to the exposed facades.
- Buildings along West Morrison Moore should reflect the following provisions:
  - The principal façade material can be masonry or wood, with detailing reflective of historic industrial or mining architecture such as wide vertical batten siding or utility brick with corbelled parapets.
  - Long facades should feature regularly-spaced storefront windows resembling historic industrial sash or loading dock openings, and protected by continuous shed canopies as needed. Narrow-frame metal windows such as rolled steel, or multiple-light wooden sash is preferred. Storefront windows should be a minimum of 7'-0" above the sidewalk and should represent no less than 60% of the building façade.
  - Seamed metal is preferred for all visible roof construction.
  - Skylights or dormers should be in proportion and scale to the overall design.
  - The use of shutters is discouraged in favor of rolling wooden doors similar to those found in historic mill architecture.
  - Entrances should be designed with side and top lights such that the entire composition is similar in proportion to an adjacent window bay.



Masonry buildings



Industrial building used for retail



Whole Foods - New Orleans



Modern buildings influenced by mining and industrial architecture



Hotel with porches



Facade with balconies



Wood building with continuous porch



Flat roofed building with prominent entrance



Long building with pattern created by dormers

- Buildings along East Main should reflect the following provisions:
  - Architectural style and massing, especially on larger buildings, should evoke traditional resort hotels such as those built in the vicinity around 1900.
  - Style, materials and details should be used to differentiate the ground floor from those above to reflect different internal uses. In a similar manner, the top floor should be differentiated or include a cornice to suggest a three-part façade composition. Structural bays should be vertically emphasized by proportion and details like pilasters and columns.
  - Building rooflines can be varied by introducing turrets, towers, extended parapets, and other features to the exposed facades.
  - Brick masonry or wood siding is encouraged as the principal façade material, with simple continuous wooden porches, galleries or balconies articulating all facades visible from East Main.
  - Windows along each upper floor should be sized proportionately large and placed in alignment to form a well-composed façade. See Part 1.8 (Details) for ground-floor storefront provisions. Recessed entries for retail spaces are allowed along East Main as dictated by the architectural style.
  - Simulated shutters are discouraged district-wide. Operable shutters are acceptable.
  - Ornamental details can be achieved through brick corbelling, carved or inlaid stone, or decorative panels of metal, terracotta or tile.



## 2.4 Highlands

This district is located northwest of the historic square. It is characterized by rolling topography and a magnificent view of the mountains. The district includes a few noteworthy historic properties that should be included in the overall design and development of the area. The most dominating element within the built environment should be the link to the mountains.

Figure 2.11: Highlands District



### 2.4.1 Building Typologies / Locations

- Preservation of existing historic buildings is required for those 50 years and older.
- No new building can exceed two and one-half stories in height unless it is set back from the street a minimum of 200' north of North Grove, or by special permission south of North Grove.
- Parking structures are excluded from the provisions below, but are subject to the guidelines in Part 1.4 (Parking).
- Any building not covered in the building typologies should follow the proportions and details exhibited by the rustic stone and wood architecture discussed in the Special Provisions section below.

#### Buildings north of North Grove Street

- The different building types should follow the proportions and details exhibited by the corresponding building typologies described in Part 1.11 (Historic Building Forms).
  - Freestanding wooden buildings under two stories should follow the Gable-End Craftsman or Bungalow.
  - Freestanding masonry buildings under two stories should follow the One-Part Commercial or Gable-End Tudor.
  - Freestanding wooden buildings between two and two-and-one-half stories should follow the Pyramidal or Queen Anne Victorian.

#### Buildings south of North Grove

- The different building types should follow the proportions and details exhibited by the corresponding building typologies described in Part 2.11 (Historic Building Forms).
  - Freestanding wooden buildings under two stories should follow the Hall-and-Parlor, Massed-Plan, Gable-Ell, Pyramidal or Bungalow.
  - Freestanding wooden buildings between two and two-and-one-half stories should follow the I-House, Massed-Plan, Gable-Ell or Pyramidal.



Craftsman House



Craftsman style house



Queen Anne Victorian



Tudor House



The Hillcrest Building



Masonry house with dormers



2.4.2 Street Characteristics

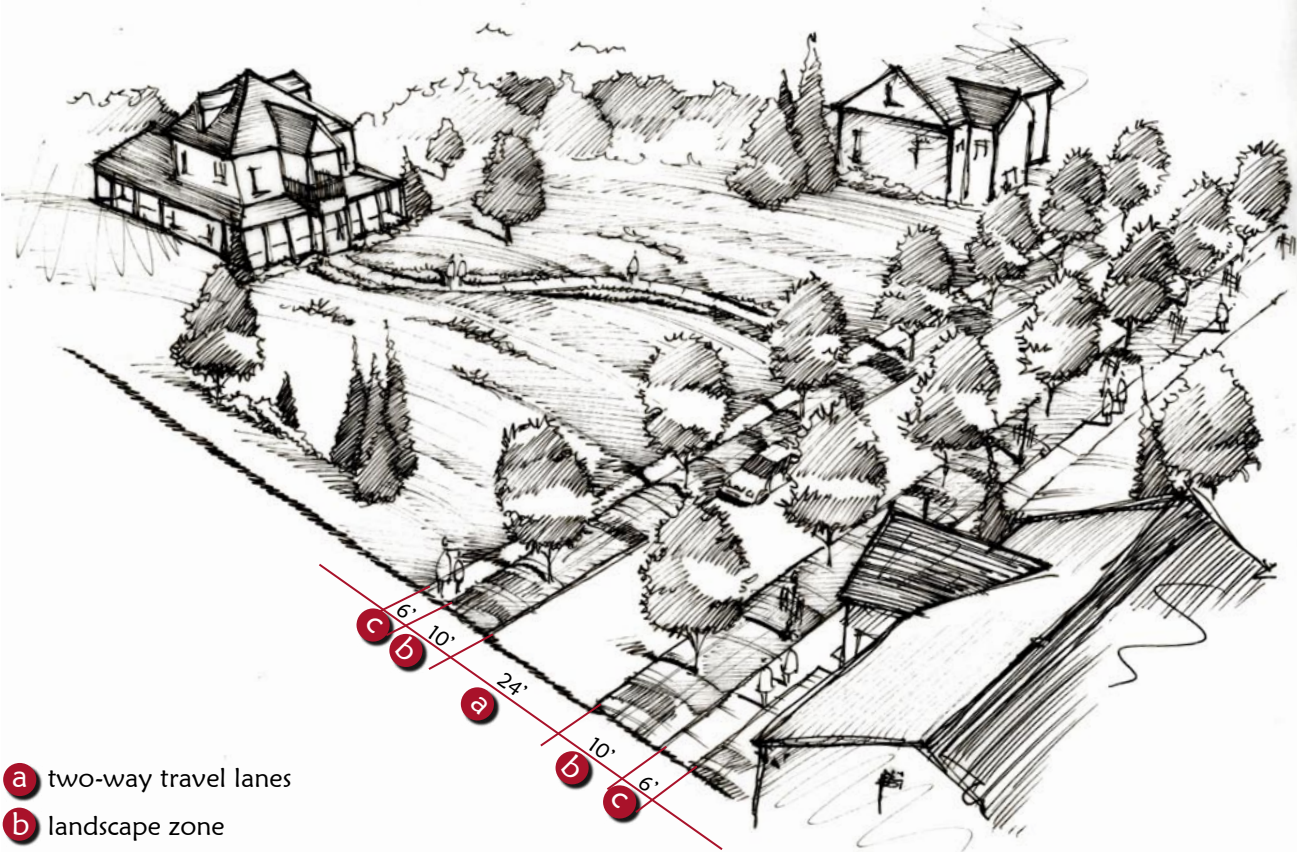
North Grove Street

- North Grove is the signature street of the district and should be given special design attention.
- Physical improvements to North Grove should focus on the pedestrian environment and would include:
  - Face of curb +/- 12'-0 from street centerline both sides.
  - A minimum 10' wide landscape zone which includes regularly-spaced trees with special connection to the Appalachian highlands such as American Beech, or depending on ongoing breeding results, blight-resistant Chestnut. The landscape zone should also have mountain groundcover such as Appalachian Sedge or other suitable plant material.
  - Minimum 6' wide sidewalks both sides.
  - Pedestrian street lighting should be regularly spaced at a minimum of 30'-40' on-center.
- Sidewalks can include decorative cast metal interpretive / way-finding medallions based on design elements of the first coin minted in the city.
- Crosswalks at intersections should continue the sidewalk material across the street paving.
- Consult the Dahlongea Corridor Design Guidelines for additional information.



Textured sidewalk

Figure 2.12: Potential North Grove Street Section



- a two-way travel lanes
- b landscape zone
- c sidewalk



Stone retaining wall



Rustic fence



Road type within district



Road with sidewalk on one side

Other district streets

- Should preserve the rural residential character of the district by including design elements such as:
  - Two-way travel lanes.
  - On-street parallel parking on one side, unless precluded by right-of-way constraints.
  - Sidewalks adjacent to the curb, 5' minimum width, on at least one side.
  - Stone retaining walls.
  - Rustic fencing.
  - Wimpy Mill Road is unique in the district in its role as a rural connector, and should maintain its existing section and character with the exception of the proposed greenway along its eastern edge.



Rural streetscape



### 2.4.3 Special Provisions

- One of the defining characteristics of the district is the presence of rough stone architecture adorning the Community House and several residential structures along North Grove Street. Because of the thematic connection to the nearby forests and mountains, the district should feature new construction that builds on these precedents by following the proportions and details associated with the rustic architecture of the National Park Service or the Civilian Conservation Corps. Excellent examples of this style can be found in the New Deal buildings of Georgia state parks like Vogel, F. D. Roosevelt, or Indian Springs. Primary features of these structures include:
  - Simple vernacular building forms assembled to make larger compositions.
  - Random-coursed rustic stone foundations, base floors, and building elements such as piers and chimneys.
  - Rough-cut lap siding or log construction for upper floors.
  - Stain or paint finishes in natural colors.
  - Expressive roof details such as wood shake or textured asphalt shingles, copper flashing, dormers incorporated into the roof surface, and exposed rafter tails.
  - Heavy handmade wrought-iron furnishings like door and window hardware, lighting, handrails, and fireplace fittings.
  - Additional information can be found in Harvey Kaiser's National Park Architecture Sourcebook or O'Leary and Wellman's Rustic Revisited.
- The site of the old Mustering Ground is important for its historic role in the Civil War as well as the Mexican-American War and the Trail of Tears. Future redevelopment of the Mustering Ground site should seek to commemorate this past physically by incorporating a public gathering or museum space either at grade or on an elevated floor or roof. The design of any future structure should reflect the recommendations for public buildings contained in Part 1.10.



Mustering Ground marker



Stone building at  
Roosevelt StatePark



Masonry and wood building



Wood building



Roof compositions



Stone and wood building

### 2.5 University Heights

This area covers land west of the public square. It has the most potential for new development though careful consideration should be given to the existing topography and dense tree cover. New development should be sensitive to the physical environment and should lead the way in environmentally sensitive approach to design and construction.

Figure 2.13: University Heights District





## 2.5.1 Building Typologies / Locations

- Residential buildings in the district should be a combination of single family homes, townhouses and multi family buildings.
- Building design and architectural detailing should be dictated and directed by the existing contours and topography.
- Residential buildings should follow the characteristics and details exhibited by any one or a combination of the residential building typologies described in Part 1.11 (Historic Building Forms).
- Mixed use buildings along West Morrison Moore Parkway should contain details and features of any one or a combination of the commercial building typologies described in Part 1.11 (Historic Building Forms).
- If a building design deviates from the recommended typologies, the new design should first be approved by the commission or development authority that oversees the development within this area.
- This neighborhood is envisioned to be highly energy efficient where healthy and comfortable homes are provided through minimal impact to the environment.
- All units should conform to and meet the standards set by Leadership in Energy and Environmental Design (LEED) and/or the Earthcraft Housing Program.
  - <http://www.usgbc.org/Default.aspx> for LEED.
  - <http://www.earthcrafthouse.com/index.html> for Earthcraft Housing Program.



House made of wood



Following traditional house types



House built on stilts

House with features to protect from the elements



Pyramidal house



Residential buildings



Mixed use building for the village center

Wood townhomes



Masonry townhomes



- Each unit should address the following concerns so as to make a structure that performs better and is more economical to the owner:
  - **Site Planning:** This deals with methods to control site erosion, sediment control, and topsoil protection, managing cleared trees, incorporating trees into the design and tree preservation, and percentage of open space requirements. It also addresses issues that arise during the construction process through the use of vehicles and machinery, management of materials and the impact on land and water.
  - **Energy Efficient Building Envelope and Systems:** This section includes air sealing measures through all the various building elements and systems, insulation, special attention to window design with respect to the sun path and heating and cooling systems. It also encourages the use of energy efficient appliances and lighting.
  - **Resource Efficient Design:** This discusses the amount of building material that should be used for specific square footages of the unit.
  - **Resource Efficient Building Materials:** This advocates the use of durable, low maintenance, recyclable and rapidly renewable materials that in turn help in the conservation of natural resources and hence protect the ecosystem diversity.
  - **Waste Management:** This addresses the management of all waste during the construction process.
  - **Indoor Air Quality:** This is controlled through garage design, furnace design, moisture control, ventilation techniques and material used.
  - **Water Conservation:** Indoor water conservation is managed through the quality and control of water fixtures whereas outdoor water conservation is managed through soil types, plants, irrigation systems, rain water harvesting and the use of permeable pavement materials.



## 2.5.2 Street Characteristics

- Existing streets that border the district should be enhanced through streetscape improvements.
- North Chestatee Street, Vickery Drive, Church Street, Hawkins Street and Happy Hollow Road should have sidewalks on both sides of the street. These should be paved with concrete, exposed aggregate or sand blasted concrete. They should have a planting strip where possible. Trees and street lights should be placed at regular intervals.
- West Main Street should follow the same guidelines described in the Public Square / South Chestatee District.
- Majority of the connectivity network within this district are new streets. This street network should be laid to follow contour lines. They should also extend across the area such that they connect the neighborhood to all the surrounding development, thereby increasing pedestrian connectivity within the study area.
- All new streets should follow basic streetscape standards with sidewalks, granite curbs, planting zones and pedestrian lights.
- A single “Signature Street” should be created that runs through the various development types within the area, travels close to the linear park and connects into another part of the city.
- This signature street should have additional street furniture like benches, trash receptacles and bike racks along its length. It could also be glorified by the placement of banners that distinguish this sustainable neighborhood. This street should also be defined by a series of pocket parks that are strategically located along its length, through the neighborhood.



Streetscape within the village center



Landscaping



Sidewalk with parallel parking

Residential street



Signature street with banners



Linear park



Trails



Pocket park

Site planning respecting topography and trees



Amphitheatre



## 2.5.3 Special Provisions

### General Site

- The University neighborhoods area is forested land, rich in trees and unique in nature because of its rolling topography and existing perennial stream. The preservation of this topography and the tree coverage is required wherever possible.
- Development on the site should be sensitive to the slopes and the lots should be laid out with the least disturbance to the natural environment.
- The site should be well connected internally as well as to all the surrounding areas, namely, the NGCSU campus and the historic downtown.

### Open Space

- A linear park should be created along the length of the perennial stream and smaller pocket parks should be located strategically throughout the neighborhood.
- The park should have a community amenities center that offers facilities for tennis and swimming.
- A trail should be provided within the park and it should connect to the larger trail system of the city.

### Amphitheatre

- The amphitheatre located along Hawkins Street should be built using a combination of stone for seating and manicured grass for the steps.
- The area should be surrounded by trees to buffer it from the surrounding developments.
- Parking should be shared with the Dahlonge Baptist Church.